



PLANNING COMMISSION
STAFF REPORT – DECEMBER 18, 2013
CASE NUMBER: DP-13-0732
Case Manager: Dawn Wrinn, CAPZO

Summary of Information:

Project Name:	Parking Plan
Property Address:	504 Dusy Street
Requested Action:	Development Plans
Applicant:	Johnson & Reeves Engineering representing
Property Owner:	Dothan City Board of Education

Zoning/Land Use:

ACREAGE OF SITE	0.38
NUMBER OF EXISTING LOTS	1
NUMBER OF PROPOSED LOTS	N/A
EXISTING LAND USE - SUBJECT	VACANT
EXISTING LAND USE - NORTH	SCHOOL ADMIN BUILDING
EXISTING LAND USE - SOUTH	RESIDENTIAL
EXISTING LAND USE - EAST	RESIDENTIAL
EXISTING LAND USE - WEST	SCHOOL ADMIN BUILDINGS
ZONING DISTRICT - SUBJECT	R-4
ZONING DISTRICT - NORTH	R-4
ZONING DISTRICT - SOUTH	R-4
ZONING DISTRICT - EAST	R-4
ZONING DISTRICT - WEST	R-4
PROPOSED ZONING - SUBJECT	N/A
FUTURE LAND USE MAP - SUBJECT	RESIDENTIAL
FUTURE LAND USE MAP - NORTH	INSTITUTIONAL
FUTURE LAND USE MAP - SOUTH	RESIDENTIAL
FUTURE LAND USE MAP - EAST	RESIDENTIAL
FUTURE LAND USE MAP - WEST	INSTITUTIONAL
SETBACK-FRONT	10 FT. FROM ROW - PARKING
SETBACK-REAR	15 FT.
SETBACK-SIDE	7.5 FT.
BUILDING HEIGHT LIMIT	N/A
SIGN HEIGHT LIMIT	8 FT.
BUFFERS	10 FT. FROM ROW

General Discussion: Johnson & Reeves Engineering is representing the Dothan City Board of Education in its request for approval of development plans for parking improvements at 504 Dusy Street, R-4 District.

The property is located on the west side of Dusy Street between West Lafayette and West Southport Streets. The 0.38 acre vacant property is proposed to have a parking lot with 35 spaces. The property has 68 feet of frontage adjacent to Dusy Street.



ZONING/VICINITY MAP

Land Use Impact on Vicinity: Existing land uses in the immediate vicinity and general vicinity are institutional and residential in nature. Since the parking lot will be immediately adjacent to residential property to the south, buffering will be required to mitigate any vibrations, noise and lighting impacts from vehicles.

Land Use Compatibility/Land Use Plan: As previously mentioned, existing land uses of subject site and surrounding properties are institutional and residential. The land use plan reflects these uses.



FUTURE LAND USE MAP

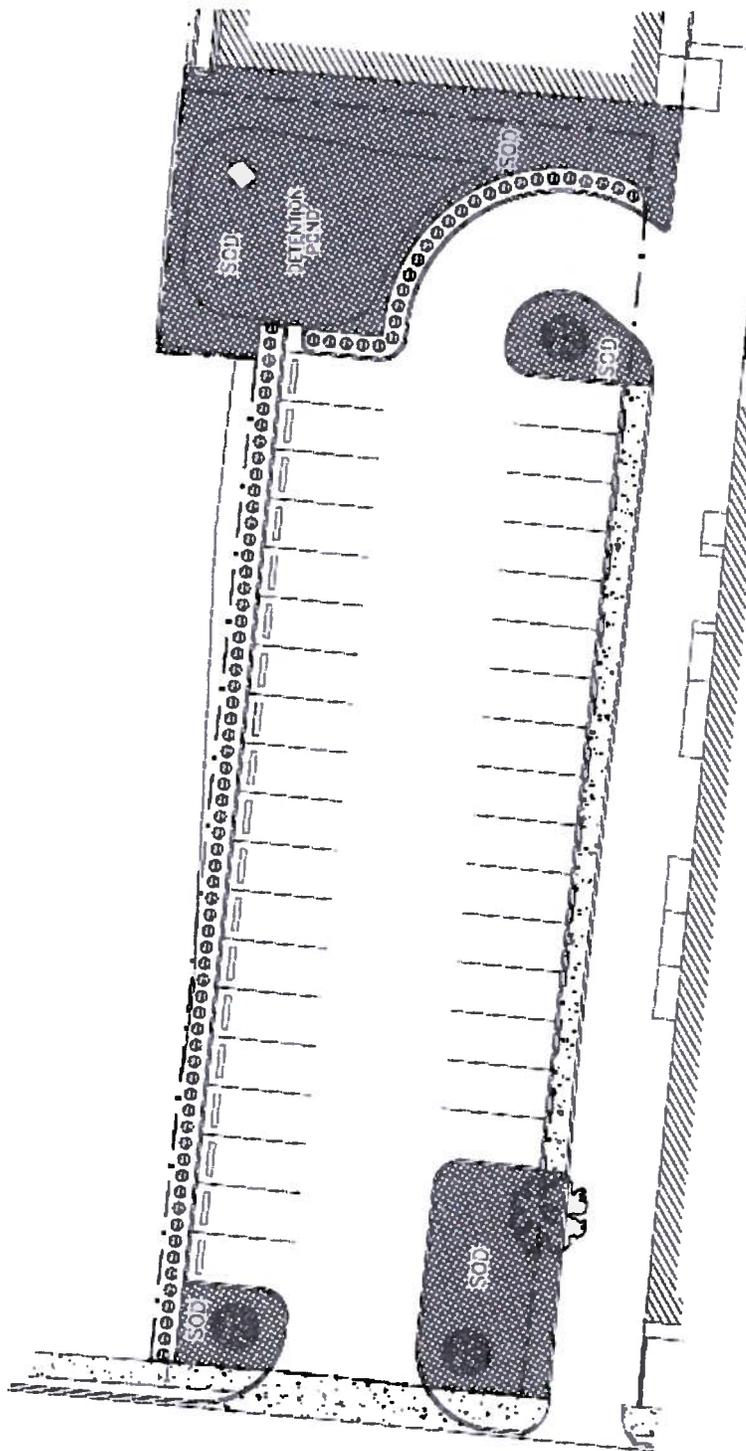
Impact on the Environment: The proposed development is required to follow standard development and erosion control precautions to protect adjacent properties during development (see engineering comments).

Landscaping: Landscape Manager Dan Williams' comments

We are no longer on a points schedule system. Please review the current landscape ordinances and revise as prescribed therein.

Planning staff comment.

The landscape plan as submitted complies with zoning requirements except for frontage plantings required 10 ft. adjacent to Dusy Street: 4 trees and 8 shrubs per 100 ft. of frontage...68%...need 3 trees and 5 shrubs. The applicant can take credit for the existing 24" tree. A minimum of 5 shrubs is needed adjacent to Dusy Street.



DUSTY ST

PROPOSED LANDSCAPING PLAN - N→

Planning staff comment: Detention area is shown as solid sod.

Parking: Parking areas must be a minimum of 10 feet behind the street right-of-way. It appears that this has been accomplished adjacent to Dusy Street.

Buffers: The south side of the property is adjacent to a residential home. Boxwoods are shown on the plan in the 5-foot setback.

Signage: No signage is shown on this plan. Any future signage would need to have a permit issued by the Building Official's Office before being erected on the site.

Impact on Travel:

Traffic Engineering Comments: Robert A. Cox, PE

Install signage to advise motorists of the one-way exit of the proposed parking lot to the existing parking lot.

Impact on Public Services and Facilities:

Engineering Comments: Mike Griggs' Comments

The intent of this memo is to address (1) the maintenance of storm water runoff from this site.

We will require storm drainage calculations as submittals to support a storm drainage plan for review and approval when applying for a building permit. The post-development peak discharge rate shall be limited to the pre-development peak discharge rate for the 2-, 10-, and 25-year storm events unless site conditions dictate differently.

Utilities Comments: The developer shall notify Jeff McNally at Dothan Utilities (615-3217) if an irrigation service will be required for the new landscaping and the preferred location.

Planning Staff comments: Irrigation is required for all landscaping as per Section 114-114-238 J). None is shown on the plans.

Fire Marshal's Comments: No comments.

Staff Recommendation: Staff recommends that Case No. DP-13-0732, request for development plan approval for a parking lot, at 504 Dusy Street, R-4 district, as shown on the map stamped "Received November 5, 2013", having been duly considered in a public hearing held on December 18, 2013 following advertised legal notice and notice posted on the property, **be approved** by the Planning Commission subject to the following conditions and the *City of Dothan Zoning Ordinance*.

1. Any signage be in compliance with Section 114-207 of the Zoning Ordinance and have a permit issued by the Building Official's Office before being erected on the site;
2. Review and revise the landscaping plan as recommended by the Landscape Manager before any plans are submitted to the Building Official's Office for a construction permit;
3. Show required irrigation for all landscaping as per Section 114-114-238 J);
4. The comments of all city departments are incorporated into the final construction plans before a building permit is issued by the Building Official's Office;
5. Any work done on the Dusy Street right-of-way be available for use by neighboring developments;
6. The Development Plan approval will lapse and re-approval by the Planning Commission will be necessary if a building permit is not obtained within one year, which will be December 31, 2014.



PLANNING COMMISSION
STAFF REPORT – DECEMBER 18, 2013
CASE NUMBER: DP-13-0785
Case Manager: Dawn Wrinn, CAPZO

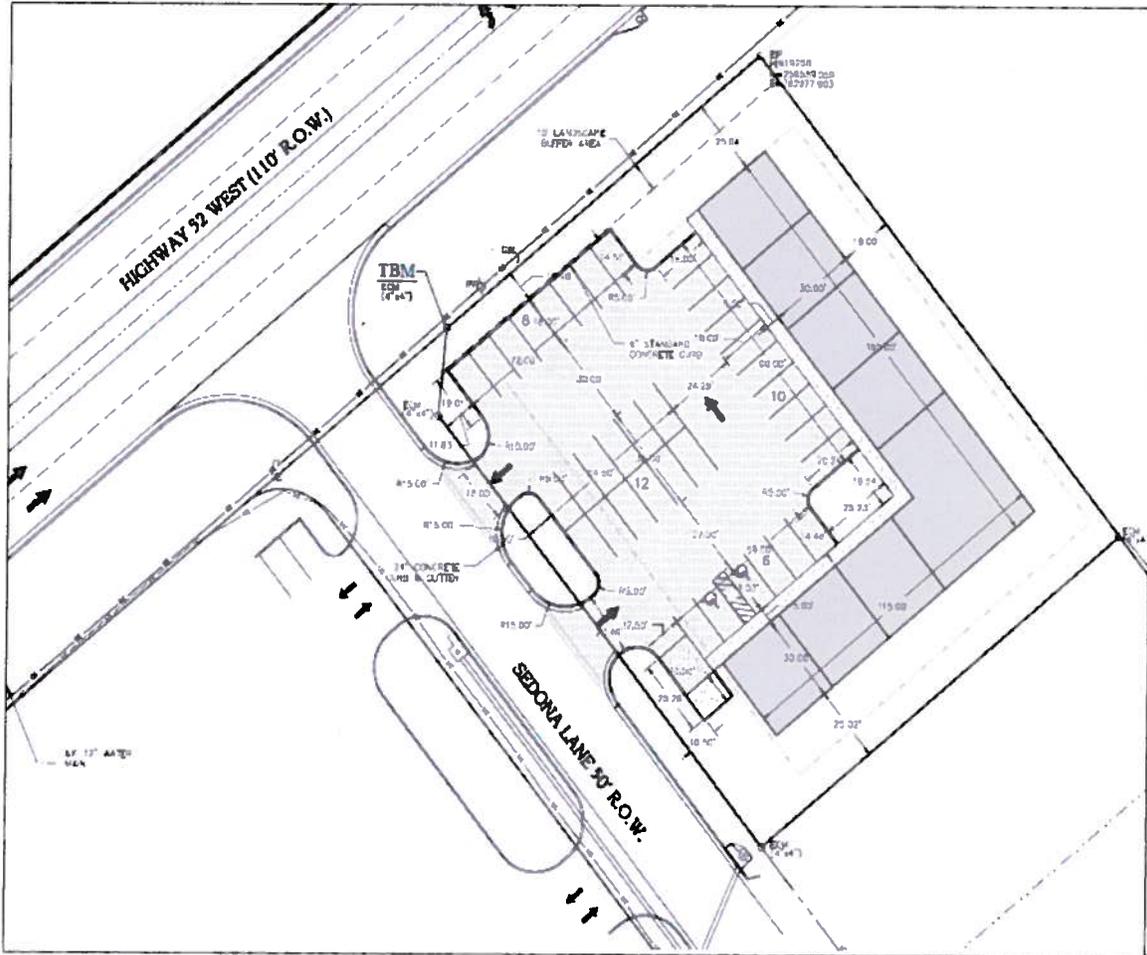
Summary of Information:

Project Name:	Sedona Ridge Shopping Center
Property Address:	2325 Hartford Hwy Intersection
Requested Action:	Development Plans
Applicant:	Northstar Engineering Services representing
Property Owner:	David Mauldin

Zoning/Land Use:

ACREAGE OF SITE	0.73
NUMBER OF EXISTING LOTS	1
NUMBER OF PROPOSED LOTS	1
EXISTING LAND USE - SUBJECT	VACANT
EXISTING LAND USE - NORTH	CEMETERY
EXISTING LAND USE - SOUTH	RESIDENTIAL
EXISTING LAND USE - EAST	VACANT
EXISTING LAND USE - WEST	COMMERCIAL
ZONING DISTRICT - SUBJECT	B-2
ZONING DISTRICT - NORTH	B-2
ZONING DISTRICT - SOUTH	B-2
ZONING DISTRICT - EAST	B-2
ZONING DISTRICT - WEST	B-2
PROPOSED ZONING - SUBJECT	N/A
FUTURE LAND USE MAP - SUBJECT	COMMERCIAL
FUTURE LAND USE MAP - NORTH	COMMERCIAL
FUTURE LAND USE MAP - SOUTH	COMMERCIAL
FUTURE LAND USE MAP - EAST	COMMERCIAL
FUTURE LAND USE MAP - WEST	COMMERCIAL
SETBACK-FRONT	25 FT.
SETBACK-REAR	10 FT.
SETBACK-SIDE	5 FT.--25 FT. STREET SIDE
BUILDING HEIGHT LIMIT	145 FT. OR 10 STORIES
SIGN HEIGHT LIMIT	42 FT.
BUFFERS	10 FT. ADJACENT TO ROW
LANDSCAPE TYPE?	TYPE 2
NUMBER OF UNITS	8
PARKING REQUIRED	35 – 36 PROVIDED

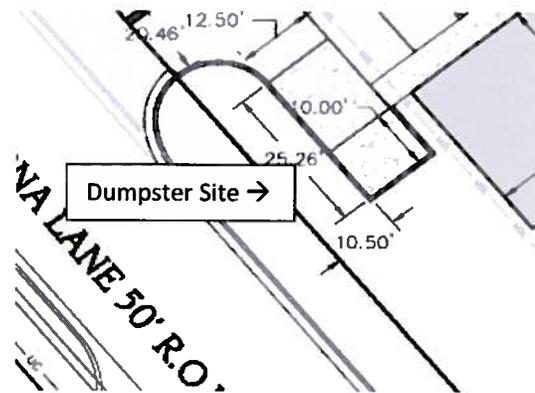
General Discussion: The property is located on the south side of Hartford Highway at the southeast corner of the Sedona Lane intersection. The 0.73-acre vacant property is proposed to have a 7,050 square-foot building, with 36 parking spaces. This number of parking spaces slightly exceeds the amount required for this size of building.



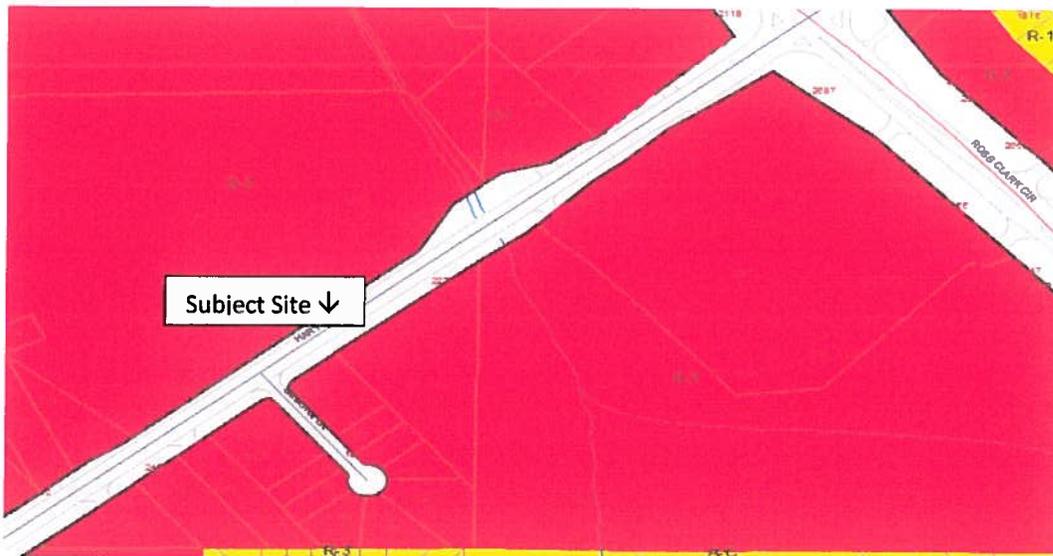
Site Plan

Land Use Impact on Vicinity: Existing land uses the general vicinity is commercial, residential, and institutional (cemetery) in nature. Since the proposed development is immediately adjacent to residential buffers will be required to mitigate odors, vibrations, noise and lighting impacts.

There is an enclosed and screened dumpster site located at the south end of the property. The site plan shows the dumpster will be mitigated with landscaping.



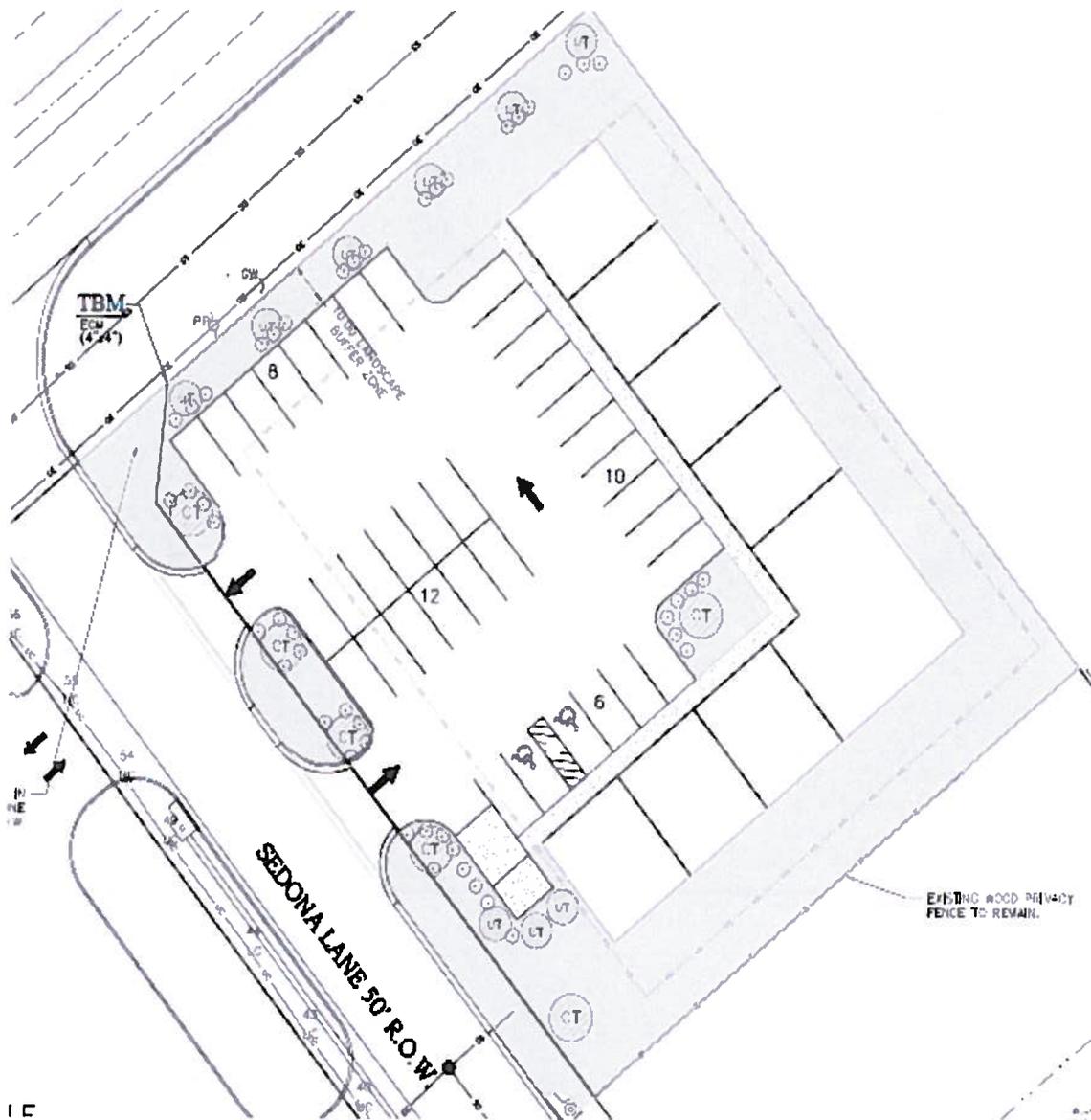
Land Use Compatibility/Land Use Plan: As previously noted, existing land uses of the surrounding properties are commercial, residential, and institutional (cemetery) in nature. The use of the property for commercial purposes is in concert with the Future Land Use Map.



Impact on the Environment: The proposed development is required to follow standard development and erosion control precautions to protect adjacent properties during development (see engineering comments).

Landscaping: Landscape Manager Dan Williams did not have any changes to the planting plan.

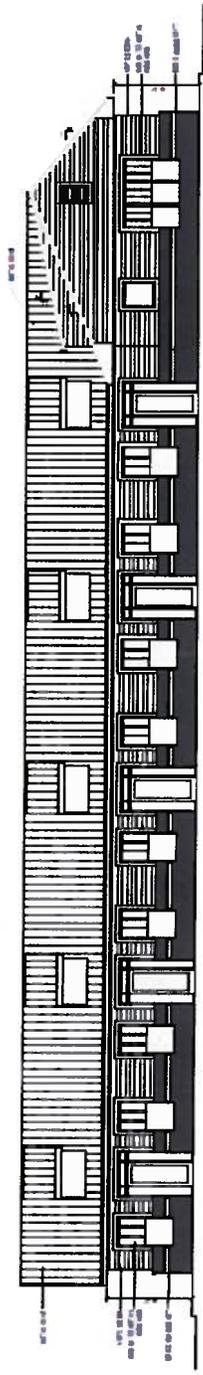
Buffers: There is an existing wood privacy fence along the rear property line adjacent to the residence that is shown to remain. A Type 2 buffer is required, 25 feet wide with 8 trees and 30 shrubs per 100 linear feet.



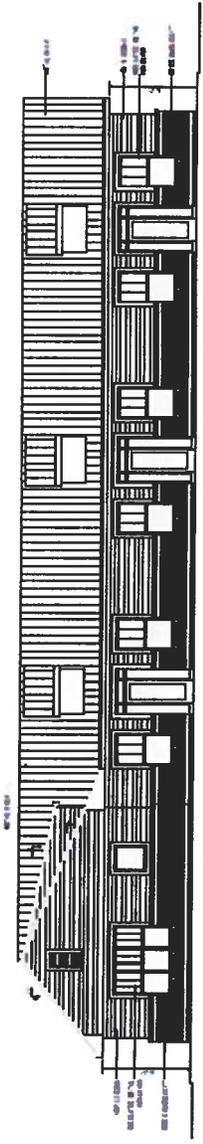
Parking: Parking areas must be a minimum of 10 feet behind the street right-of-way. This has been done as shown above.

Signage: No sign location is shown. Any new signage will need to comply with Section 114-207 and be approved and receive a permit before being erected.

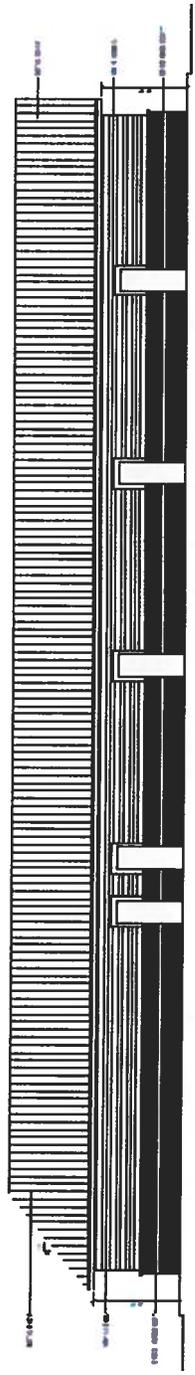
Building Description: The 18-foot tall, L-shaped building will have 4-ft. of brick wainscoting at the base with vinyl siding to the metal, pitched roofline. Insulated metal windows are proposed with metal door fronts. The plans indicate that there will not be any lighting provided on the rear of the building.



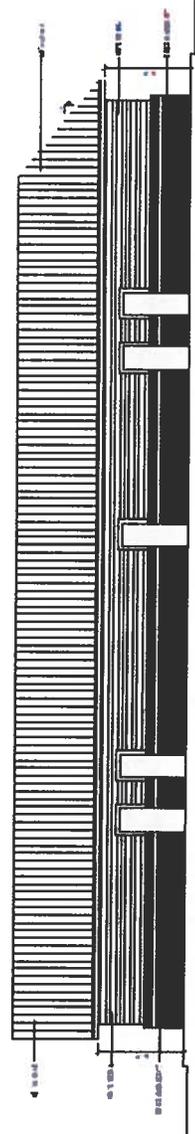
FRONT ELEVATION
2020.07.17



LEFT ELEVATION
2020.07.17



REAR ELEVATION
2020.07.17

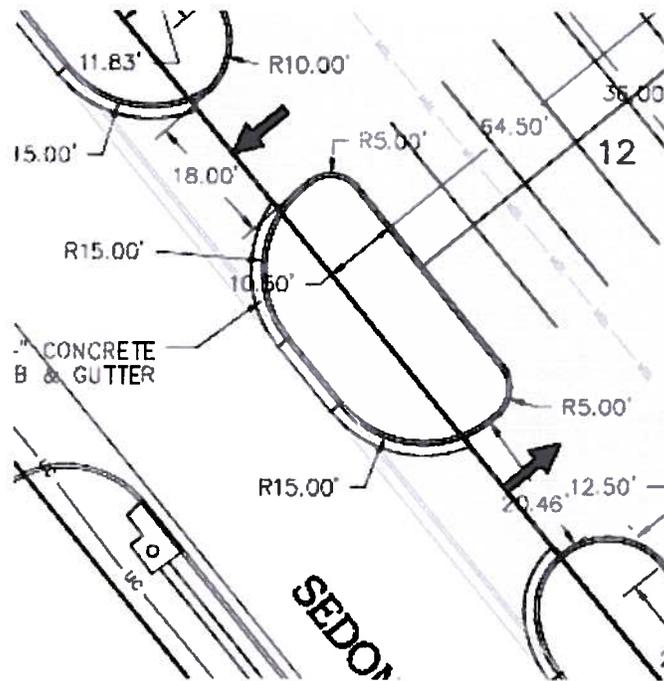


RIGHT ELEVATION
2020.07.17

Impact on Travel:

Traffic Engineering Comments: Robert A. Cox, PE

Both driveways shall be widened to a minimum of 24' feet in width to allow bi-directional traffic.



Impact on Public Services and Facilities:

Engineering Comments: Mike Griggs, Engineer Assistant

We will require storm drainage calculations as submittals to support a storm drainage plan for review and approval when applying for a building permit. The post-development peak discharge rate shall be limited to the pre-development peak discharge rate for the 2-, 10-, 25-, and 50-year storm events unless site conditions dictate differently.

Sanitary sewer is located as shown on the plans. It is the owner's responsibility to verify elevations for tie-in.

Hartford Highway is a State-maintained highway which requires a permit for any work performed within its right-of-way.

Planning staff comment: The addition of a detention pond will alter any development plan approved.

Utilities Comments:

1. The development will be served from an existing 3" stub out which will not require any new taps by Dothan Utilities.
2. The 3" water main that will serve the individual water meters will require a master 3" RPZ backflow device near the tap location.
3. The water main shall be installed per Dothan Utilities specifications and details.
4. The 3" water main shall be pressure tested and a bacteriological test completed per Dothan Utilities specifications and details.
5. The individual services for the rental units can be 1" or ¾" per developer choice. The service size shall be stated on the construction plans.
6. The individual services shall be installed per Dothan utilities specifications and details with Dothan Utilities approved meter boxes.
7. Each individual meter box shall have the rental unit it serves stamped on a metal tag affixed to the inside of the meter box.
8. No meters will be installed without the corresponding unit number displayed on the development unit and inside the meter box.
9. The development plans show new sod and landscaping but no irrigation service is shown. A separate irrigation meter will be required for the development if there is an irrigation system and shall be shown and noted on the construction plans.
10. A private development agreement will be required to install water meters off the right of way.

Fire Marshal's Comments:

1. Fire hydrant required with 250 feet of the building.
2. Access road must not to exceed 8% grade.

Staff Recommendation: Staff recommends that Case No. DP-13-0785, request for development plan approval for a shopping center, at the 2325 Hartford Highway – Sedona Lane intersection, B-2 District, as shown on the map stamped "Received November 27, 2013", having been duly considered in a public hearing held on December 18, 2013 following advertised legal notice and notice posted on the property, **be approved** by the Planning Commission subject to the following conditions and the *City of Dothan Zoning Ordinance*.

1. Any signage will need to comply with Section 114-207 and be approved and receive a permit before being erected;
2. Provide a Type 2 buffer, 25-foot wide landscape buffer against the existing residential;

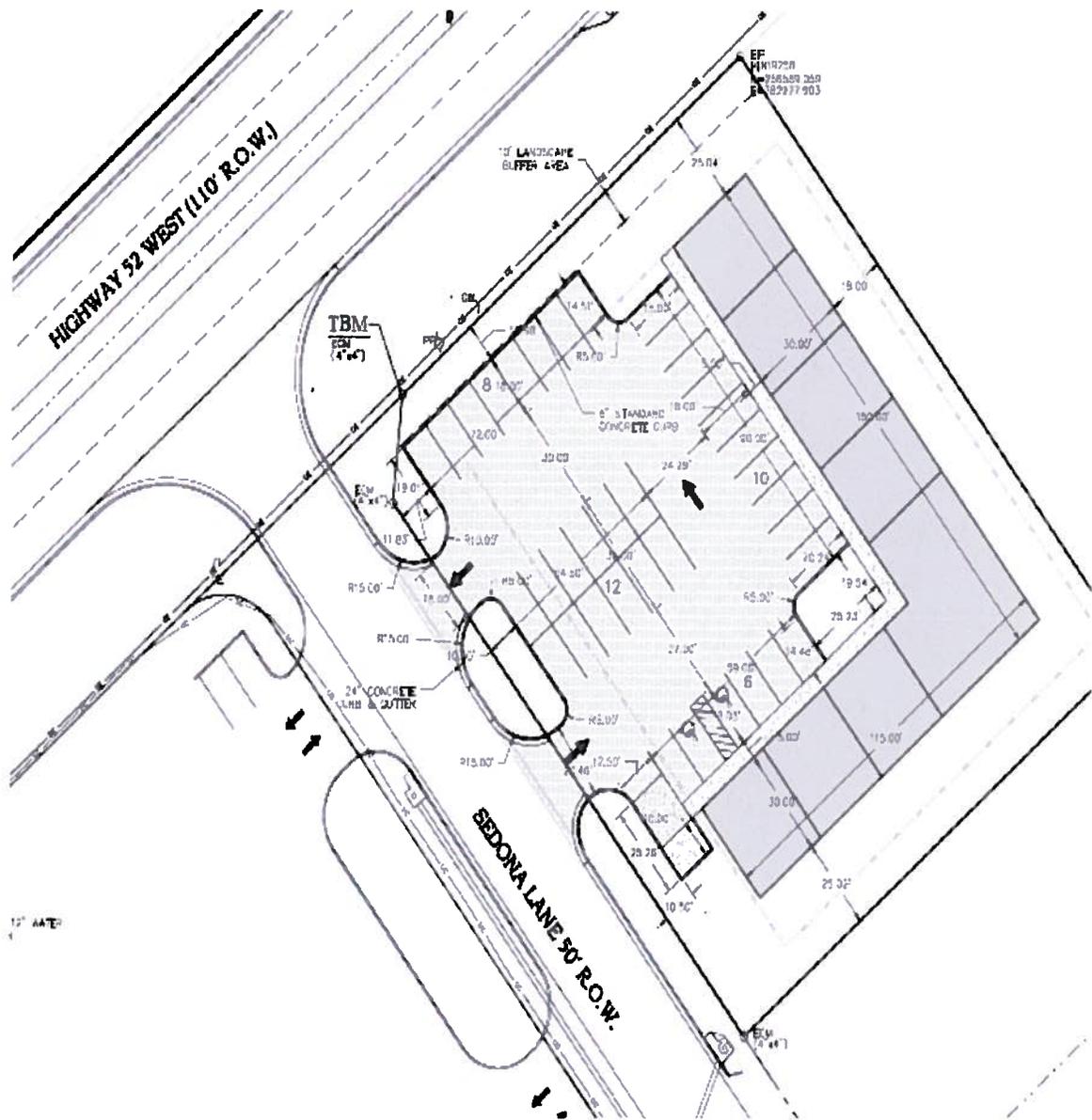
3. Any detention area required must be sodded or seeded and maintained as a landscaped area as per Section 114-238 I) of the Zoning Ordinance;
4. The comments of all City Offices are incorporated into the final construction plans before a building permit is issued by the Building Official's Office;
5. Any work done on the Hartford Highway (U.S. 52 W) right-of-way be approved by the Alabama Department of Transportation and be available for use by neighboring developments;
6. The Development Plan approval will lapse and re-approval by the Planning Commission will be necessary if a building permit is not obtained within one year, which will be December 31, 2014.



VICINITY/ZONING MAP



AERIAL VIEW



SITE PLAN



PLANNING COMMISSION
STAFF REPORT – DECEMBER 18, 2013
CASE NUMBER: DP-13-0788
Case Manager: Dawn Wrinn, CAPZO

Summary of Information:

Project Name: Full Moon BBQ Restaurant
Property Address: 3799 Montgomery Highway/Redmond Road Intersection
Requested Action: Development Plans
Applicant: Northstar Engineering Services representing
Property Owner: Scott Applefield

Zoning/Land Use:

ACREAGE OF SITE	0.87
NUMBER OF EXISTING LOTS	1
EXISTING LAND USE - SUBJECT	VACANT
EXISTING LAND USE - NORTH	SPORTING GOODS STORE
EXISTING LAND USE - SOUTH	FINANCIAL
EXISTING LAND USE - EAST	RESIDENTIAL
EXISTING LAND USE - WEST	VACANT/RESIDENTIAL
ZONING DISTRICT - SUBJECT	B-2
ZONING DISTRICT - NORTH	B-2
ZONING DISTRICT - SOUTH	B-2
ZONING DISTRICT - EAST	R-1
ZONING DISTRICT - WEST	B-3/B-2
FUTURE LAND USE MAP - SUBJECT	COMMERCIAL
FUTURE LAND USE MAP - NORTH	COMMERCIAL
FUTURE LAND USE MAP - SOUTH	COMMERCIAL
FUTURE LAND USE MAP - EAST	RESIDENTIAL
FUTURE LAND USE MAP - WEST	COMMERCIAL
SETBACK-FRONT	25 FT.
SETBACK-REAR	10 FT.
SETBACK-SIDE	5 FT./25 FT. STREET SIDE
BUILDING HEIGHT LIMIT	145 FT./10 STORIES
SIGN HEIGHT LIMIT	42 FT./200 SQ.FT. OF AREA
BUFFERS	10 FT. ADJACENT TO ROW

General Discussion: The applicant, Northstar Engineering Services on behalf of Scott Applefield, requests approval of Development Plans for a Restaurant at the northeast corner of the 3799 Montgomery Highway and Redmond Road intersection. The 0.87-acre vacant property is proposed to have a 4,746 square-foot building.



ZONING – VICINITY MAP

Land Use Compatibility/Land Use Plan: As previously mentioned there are commercial, financial, and residential uses on surrounding properties. The proposed use of the property is shown on the Future Land Use Plan.

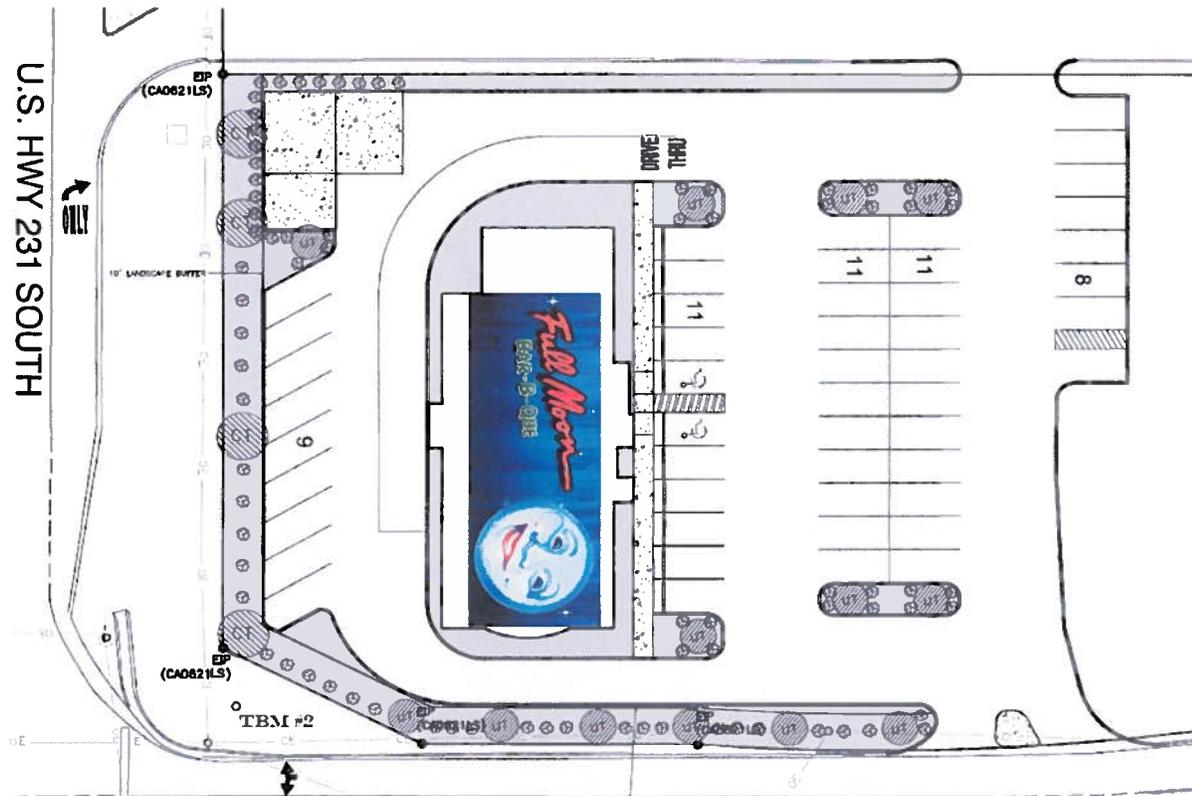


FUTURE LAND USE MAP

Impact on the Environment: The proposed development is required to follow standard development and erosion control precautions to protect adjacent properties during development (see engineering comments).

Landscaping: Landscape Manager Dan Williams did not have any comments concerning this project.

Planning Staff Comments: The proposed landscaping plan shows plantings in the required 10-foot buffer area adjacent to the rights-of-way of Montgomery Highway and Redmond Road. One additional tree is needed in the buffer area adjacent to the Montgomery Highway. There is additional landscaping proposed around the dumpster site. Planting islands are also shown at the ends of the parking rows.



Parking: Required parking spaces for the 116 occupants is 46 (1 space per 2.5 occupants). The parking standard for a restaurant also requires one space per employee on the largest shift. Fifty (50) spaces plus 2 handicapped spaces are provided. Information concerning the number of employees is required to verify parking is adequate. Parking areas must be a minimum of 10 feet behind the street right-of-way. This has been accomplished.

Buffers: No buffer required.

Signage: No sign location is shown on the site plan. Any signage must comply with Section 114-207 of the Zoning Ordinance and receive a permit from the Building Permits and Inspections Office before being erected.

Building Description: The building appears to be a combination of brick, and E.F.I.S., and split-face block. No overall height measurement is given however, in the B-2 zoning district; the maximum height permitted is 145 feet.

Drive-thru service is proposed with the delivery window facing Montgomery Highway.

It appears that a barbeque pit will be in the building as evidenced by a smokestack that is "ghosted" in above the building roofline.



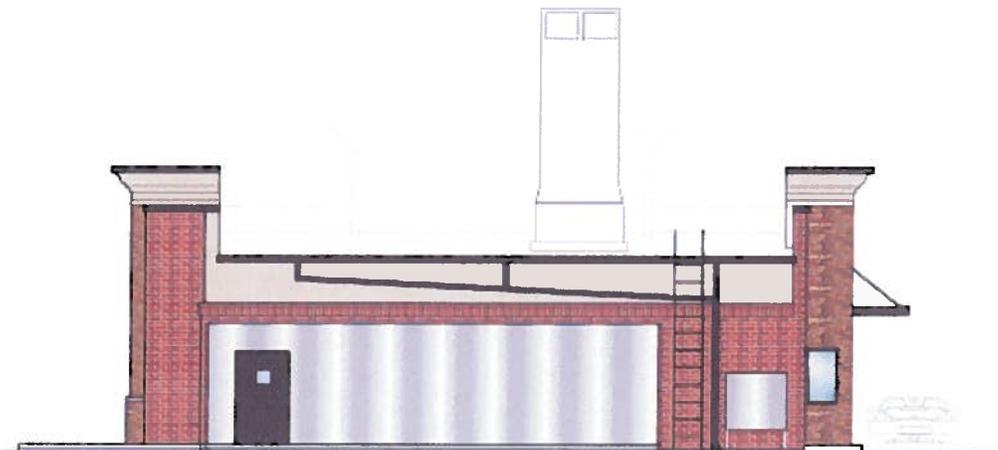
FACING REDMOND ROAD



FACING MONTGOMERY HIGHWAY



FACING CLARDY ROAD

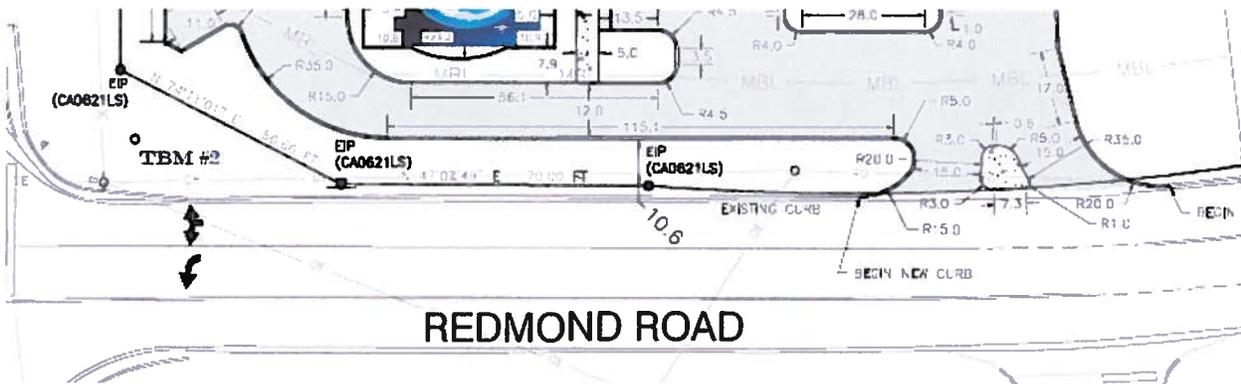


FACING ACADEMY SPORTS

Impact on Travel: Traffic Engineering Comments: Robert A. Cox, PE

The south driveway, adjacent to Redmond Road, shall be a right-in/right-out with a raised concrete island and designed in such a way to minimize the possibility of motorists making a prohibited movement to either ingress or egress the development. Signage shall include a "Do Not Enter" (facing Redmond Road) and a "No Left Turn" (northbound on Redmond Road). A thermoplastic right turn arrow pavement marking shall be placed near the raised concrete island to direct motorists egressing the property

The size and shape of the raised concrete as well as the sign posts and signs used shall meet City requirements.



Impact on Public Services and Facilities:

Engineering Comments: Mike Griggs, Engineer Assistant

We will require storm drainage calculations as submittals to support a storm drainage plan for review and approval when applying for a building permit. The post-development peak discharge rate shall be limited to the pre-development peak discharge rate for the 2-, 10-, 25-, and 50-year storm events unless site conditions dictate differently.

Planning staff comment: The restaurant is located on an out parcel in a previously approved development. A stormwater detention structure was sized and incorporated into the overall design of this development.

Sanitary sewer is located as shown on the plans. It is the owner's responsibility to verify elevations for tie-in.

Montgomery Highway is a State-maintained highway which requires a permit for any work performed within its right-of-way.

Utilities Comments: Jeff McNally, Engineer Assistant

1. The utilities plan shows a single water service line from Montgomery Hwy with a meter set to the development located at the building and the service line continuing past the building to the back of the development property to supply a future development.
2. The water meter for the proposed development must be installed within the right of way of Montgomery Hwy and the developer may continue the service line to the rear of the property to serve a future building with both buildings served off the same meter.
3. If the developer wants a separate service line to the rear of the property for another building, a separate water meter will be required.
4. The development will require an above ground RPZ backflow device located at the meter site.

Fire Marshal's Comments:

1. Recessed Knox box required.
2. Building must be sprinkled if occupancy load will be greater than 99.
3. Fire hydrant required within 100 feet of the FDC which is to be located on the front access of the building.

Staff Recommendation: Staff recommends that Case No. DP-13-0788, request for development plan approval for Full Moon BBQ Restaurant, at the northeast corner of Montgomery Highway and Redmond Road, B-2 zoning district, as shown on the map stamped "Received November 27, 2013", having been duly considered in a public hearing held on December 18, 2013 following advertised legal notice and notice posted on the property, **be approved** by the Planning Commission subject to the following conditions and the *City of Dothan Zoning Ordinance*.

1. Any signage must comply with Section 114-207 of the Zoning Ordinance and receive a permit from the Building Permits and Inspections Office before being erected;
2. Any detention area required must be sodded or seeded and maintained as a landscaped area as per Section 114-238 I) of the Zoning Ordinance;
3. One additional tree is needed in the buffer area adjacent to the Montgomery Highway;
4. The comments of all City Departments are incorporated into the final construction plans before a building permit is issued by the Building Official's Office;
5. Information on the number of employees is required to verify that parking standards are met;
6. Any work done on the Redmond Road right-of-way be available for use by neighboring developments;
7. The Development Plan approval will lapse and re-approval by the Planning Commission will be necessary if a building permit is not obtained within one year, which will be December 31, 2014.



AERIAL VIEW



PLANNING COMMISSION
STAFF REPORT – DECEMBER 18, 2013
CASE NUMBER: RZ-13-0789
Case Manager: Dawn Wrinn, CAPZO

Summary of Information:

Project Name:	Rezone from R-1 to O-2
Property Address:	2603 West Main Street
Requested Action:	Rezoning
Applicant:	WCBB Properties, LLC representing
Property Owner:	Helen Banks Brown

Zoning/Land Use:

ACREAGE OF SITE	1.65
EXISTING LAND USE - SUBJECT	RESIDENTIAL
EXISTING LAND USE - NORTH	RESIDENTIAL (across Main St.)
EXISTING LAND USE - SOUTH	RESIDENTIAL
EXISTING LAND USE - EAST	OFFICE PARK
EXISTING LAND USE - WEST	Undeveloped/General retail
ZONING DISTRICT - SUBJECT	R-1
ZONING DISTRICT - NORTH	R-1
ZONING DISTRICT - SOUTH	R-3
ZONING DISTRICT - EAST	O-2
ZONING DISTRICT - WEST	B-2
PROPOSED ZONING - SUBJECT	O-2
FUTURE LAND USE MAP - SUBJECT	COMMERCIAL
FUTURE LAND USE MAP - NORTH	COMMERCIAL
FUTURE LAND USE MAP - SOUTH	RESIDENTIAL
FUTURE LAND USE MAP - EAST	COMMERCIAL
FUTURE LAND USE MAP - WEST	COMMERCIAL

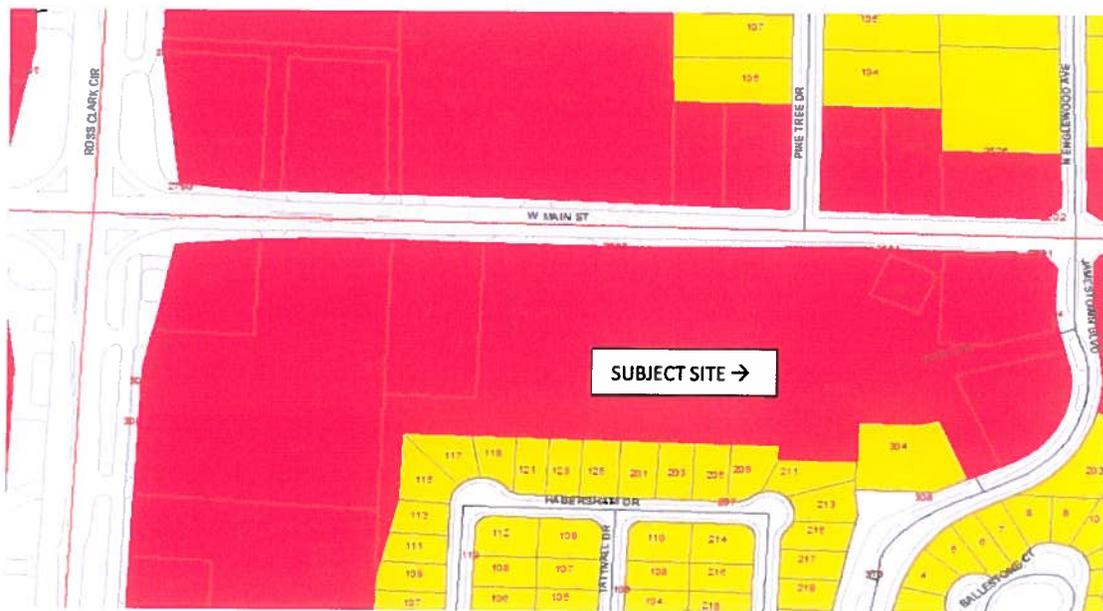
General Discussion: WCBB Properties, LLC, acting as representative for Mrs. Helen Banks Brown, are asking for a rezoning of her property from R-1, Residential, to O-2, Office Park, zoning district. The property currently has a residential home on it. As noted above, there are commercial/office uses immediately on each side of the property.



ZONING/VICINITY MAP

Land Use Compatibility: The Future Land Use Plan for the City indicates that this area should be commercial; therefore this request is in concert with the land use plan for the City. It is consistent with adjacent densities or land use patterns. The request is in concert with good zoning practices for the following reasons:

- It is located near the node of the Ross Clark Circle intersection.
- It is consistent with adjacent densities or land use patterns. There are adjacent commercial and office uses.



Building Setbacks, Height, Buffers:

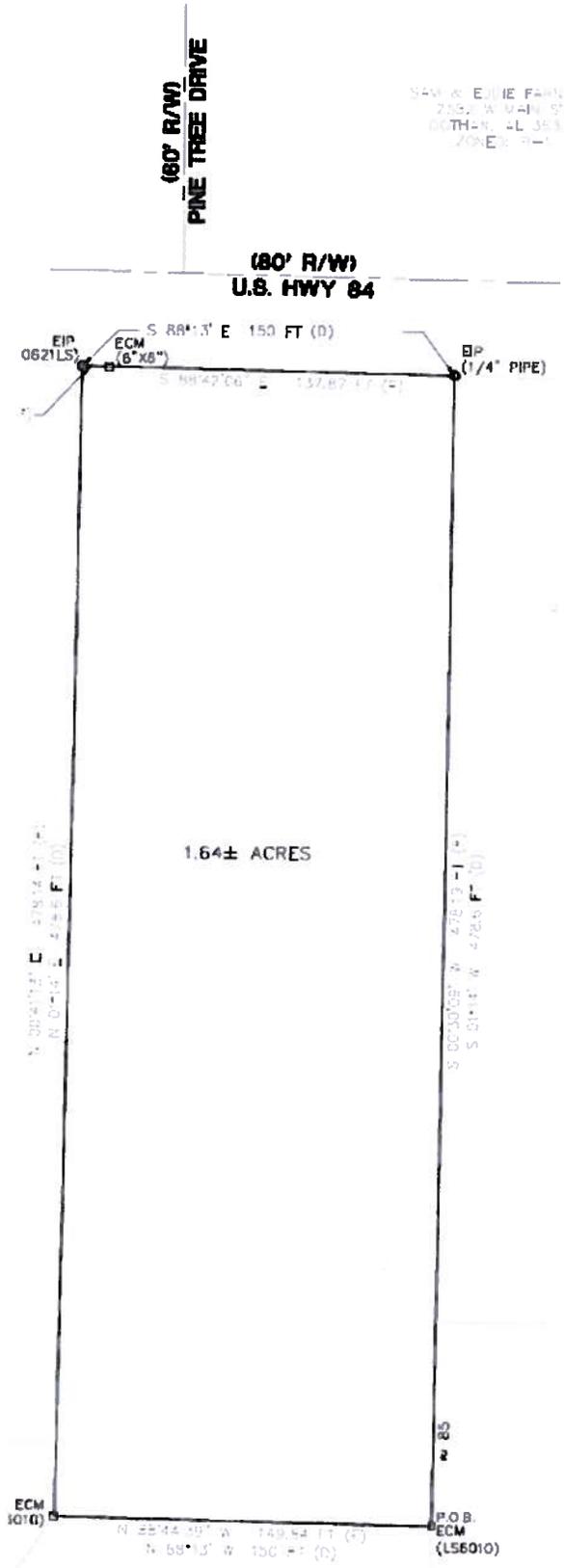
	O-2	R-1
Front Setback:	25	30
Rear Setback:	20	35
Side Setback:	20	10
Building Height Limit:	35 feet/2 stories	35 feet/2 ½ stories
Sign Height Limit:	8 feet – Sec. 114-218 – Sign Ord.	n/a
Buffers:	25' wide, Type II buffer, containing 8 trees and 30 shrubs for each 100 linear feet required when adjoining residential district	n/a

Impact on the Environment: This property does not contain any special hazard flood areas or any streams that would be impacted by this rezoning. There are no other known environmental concerns at this time.

Impact on Travel: There are no known impacts on the traffic system at this time. However, future changes in land use based on an O-2 zoning district would yield traffic concerns.

Impact on Public Services & Facilities: There are no known impacts on public services and facilities at this time. However, the Fire Marshal did make the comment that, "Additional fire protection may be required when developed."

Staff Recommendation: Staff recommends that Case No. PC-RZ-013-13, a rezoning request for 2603 West Main Street, from R-1 to O-2, as shown on the map stamped "Received November 27, 2013," having been duly considered in a public hearing held on December 18, 2013 following advertised legal notice and notice posted on the property, **be referred to the Dothan City Commission for approval** with an affirmative recommendation from the Planning Commission subject to the provisions of the *City of Dothan Zoning Ordinance*.



SAM & ELLIE FARM
 255.7 W MAIN ST
 GOTHEN, AL 363
 ZONE: R-1

SURVEY MAP

 PROJ NBR DESCRIPTION PLNR STATUS APP DATE LEGACY CASE NUMBER RELATED PROJECT NAME -----

13 00000732 DPMA - ASPHALT PARKING LOT FOR DOTHAN CITY SCHOOLS DOW AC 11/05/13 DOT 38-09-06-24-3-005-002-000 DOTHAN CITY BOARD OF ED

PROJECT LOCATION(S) 504 DUSY ST

PROJECT DATA

ACREAGE TOTAL 0.38
 ACREAGE OF SITE 0.38
 BUFFERS 10 FT. FROM ROW
 BUILDING HEIGHT LIMIT N/A
 DOWNTOWN OVERLAY DISTRICT N
 EXISTING LAND USE - EAST RESIDENTIAL
 EXISTING LAND USE - NORTH SCHOOL ADMIN BUILDING
 EXISTING LAND USE - SOUTH RESIDENTIAL
 EXISTING LAND USE - WEST RESIDENTIAL
 FUTURE LAND USE MAP - EAST SCHOOL ADMIN BUILDINGS
 FUTURE LAND USE MAP - NORTH INSTITUTIONAL
 FUTURE LAND USE MAP - SOUTH RESIDENTIAL
 FUTURE LAND USE MAP - WEST INSTITUTIONAL
 SETBACK-FRONT 10 FT. FROM ROW - PARKING
 HISTORICAL AREA N
 LOT COVERAGE - % 60
 LANDSCAPE - BUFFER TYPE? II
 EXISTING LAND USE - SUBJECT VACANT
 FUTURE LAND USE MAP - SUBJECT RESIDENTIAL
 NUMBER OF EXISTING LOTS 1
 NUMBER OF PROPOSED LOTS N/A
 PARKING SPACES - # REQUIRED N/A
 SETBACK-REAR 15 FT.
 SIGN HEIGHT LIMIT 8 FT.
 SETBACK-SIDE 7.5 FT.
 NUMBER OF UNITS N/A
 CROSS STREET SOUTHPORT
 ZONING DISTRICT - SUBJECT R-4
 ZONING DISTRICT - EAST R-4
 ZONING DISTRICT - NORTH R-4
 ZONING DISTRICT - SOUTH R-4
 ZONING DISTRICT - WEST R-4
 PROPOSED ZONING - SUBJECT N/A

13 00000738 DPMI - PARKING LOT MODIFICATIONS/GULFSIDE SEAFOOD GRILL FGB AC 11/06/13 DOT 38-09-02-04-4-003-002-007 GULFSIDE, LLC

PROJECT LOCATION(S) 4185 MONTGOMERY HWY

PROJECT DATA

ZONING DISTRICT - SUBJECT B-2
 ZONING DISTRICT - SUBJECT B-2

13 00000739 DPWI - NEW CONSTRUCTION/14,500 SQ FT BLDG/ATLANTIC & SOUTHERN EQUIPMENT, LLC FGB AC 11/06/13 DOT 38-10-03-07-3-000-010-000 ATLANTIC & SOUTHERN EQUIP

PROJECT LOCATION(S) 1923 KINSEY RD

PROJECT DATA

ZONING DISTRICT - SUBJECT L-I

13 00000755 DPWI - NEW 4,388 SQ FT BLDG FOR MCDONALD'S RESTAURANT, 1.03 ACRES, B-2 DISTRICT

PROJ NBR DESCRIPTION PLANR STATUS APP DATE LEGACY CASE NUMBER RELATED PROJECT NAME

 FGB AC 11/15/13 T.Y. LIN INTERNATIONAL

PROJECT LOCATION(S) 4899 MONTGOMERY HWY INT DOT

PROJECT DATA ZONING DISTRICT - SUBJECT B-2

13 00000785 DPMA - SEDONA RIDGE OFFICE BUILDING DKW AC 11/27/13 DAVID MAULDIN

PROJECT LOCATION(S) 2325 HARTFORD HWY INT DOT

PROJECT DATA
 ACREAGE TOTAL 0.73
 ACREAGE OF SITE 10 FT. ADJACENT TO ROW
 BUFFERS 145 FT. OR 10 STORIES
 BUILDING HEIGHT LIMIT N
 DOWNTOWN OVERLAY DISTRICT VACANT
 EXISTING LAND USE - EAST CEMETERY
 EXISTING LAND USE - NORTH RESIDENTIAL
 EXISTING LAND USE - SOUTH COMMERCIAL
 EXISTING LAND USE - WEST COMMERCIAL
 FUTURE LAND USE MAP - EAST COMMERCIAL
 FUTURE LAND USE MAP - NORTH COMMERCIAL
 FUTURE LAND USE MAP - SOUTH COMMERCIAL
 FUTURE LAND USE MAP - WEST COMMERCIAL
 SETBACK-FRONT 25 FT.
 HISTORICAL AREA N
 LOT COVERAGE - % 50%
 LANDSCAPE - BUFFER TYPE? TYPE 2
 EXISTING LAND USE - SUBJECT VACANT
 FUTURE LAND USE MAP - SUBJECT COMMERCIAL
 NUMBER OF EXISTING LOTS 1
 NUMBER OF PROPOSED LOTS 1
 PARKING SPACES - # REQUIRED 35
 SETBACK-REAR 10 FT.
 SIGN HEIGHT LIMIT 42 FT.
 SETBACK-SIDE 5 FT.---25 FT. STREET SIDE
 NUMBER OF UNITS 8
 CROSS STREET HARTFORD HWY/SEDONA LN
 ZONING DISTRICT - SUBJECT B-2
 ZONING DISTRICT - EAST B-2
 ZONING DISTRICT - NORTH B-2
 ZONING DISTRICT - SOUTH B-2
 ZONING DISTRICT - WEST B-2
 PROPOSED ZONING - SUBJECT N/A

TOTAL FOR DP 5

